

9 February 2023

Katherine Shirley
Taylor Burrell Barnett
PO Box 7130, Cloisters Square
PERTH WA 6850

Dear Katherine

The Glades at Byford – Icaria Stage 12A and 12B – Local Development Plan

Thank you for your application to the Shire of Serpentine Jarrahdale for The Glades at Byford – Icaria Stage 12A and 12B – Local Development Plan.

Pursuant to Schedule 2, Part 6, Clause 52 of the *Planning and Development (Local Planning Schemes) Regulations 2015*, the Shire has determined the application and is pleased to advise that it has been approved.

Please find enclosed a signed copy of the Local Development Plan for your records.

Yours sincerely



Lauren Dujmovic
Coordinator Strategic Planning



Local Development Plan R-Code Variations

1 SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

- 1.1 The provisions of the Shire of Serpentine Jarrahdale Town Planning Scheme No. 2 and State Planning Policy 7.3 Residential Design Codes Volume 1 (R-Codes) (as amended) and Local Planning Policy 2.2: Residential Development Standards (R25-R60) (LPP 2.2) are varied as detailed within this Local Development Plan (LDP).
- 1.2 All other requirements of the Town Planning Scheme No. 2, LPP 2.2 and R-Codes shall be satisfied in all other matters.
- 1.3 The erection or extension of a single house on a lot contained within this LDP, which satisfies the requirement of this LDP, is exempt from the requirement to obtain development approval.

2 STREETSCAPE REQUIREMENTS

Setbacks		Lots Applicable	Minimum	Maximum	Averaging
Primary Street	Dwelling	Lots 2232-2233, 2235-2236, 2299-2313, 2347-2357, 2373-2388 & 2481-2483	4.0m	N/A	• Averaging is not permitted to minimum.
	Garage	All lots	4.5m	N/A	• Averaging is not permitted to minimum.
Secondary Street	Dwelling	All lots	1.0m	N/A	• Averaging is not permitted to minimum.
	Garage	Lots 2246 & 2251	1.5m	N/A	• Averaging is not permitted to minimum.

- 2.1 Dwellings are required to suitably address all adjacent street frontages to maximise visual surveillance. All visible house elevations (from building line to erected fence) from the secondary street shall feature a suitable level of detail in a manner consistent with the primary street elevation.
- 2.2 For all front-loaded lots with street frontages between 10.5m and 12m, a double garage is permitted to a maximum width of 6m as viewed from the street subject to:
- Garage setback a minimum of 0.5m behind the building alignment;
 - A major opening to a habitable room directly facing the primary street;
 - An entry feature consisting of a porch or verandah with a minimum depth of 1.2m; and
 - No vehicular crossover wider than 4.5m where it meets the street.
- 2.3 Lots with a frontage less than 10.5m or not compliant with Clause 2.2, require single or tandem garaging.

3 BOUNDARY SETBACK REQUIREMENTS

Setbacks	Lots Applicable	Requirements
Buildings on boundary (other than Street boundaries)	R40 lots	• Buildings built up to both side boundaries subject to: <ul style="list-style-type: none">- 2/3 length to one side boundary;- 1/2 max length to second side boundary for wall height 3.5m or less

4 OPEN SPACE REQUIREMENTS

Open Space Provision	Lots Applicable	Minimum	Requirements
	R20 lots	40%	• Outdoor Living Area (OLA) shall be located to maximise northern or eastern solar access.

5 LANDSCAPING REQUIREMENTS

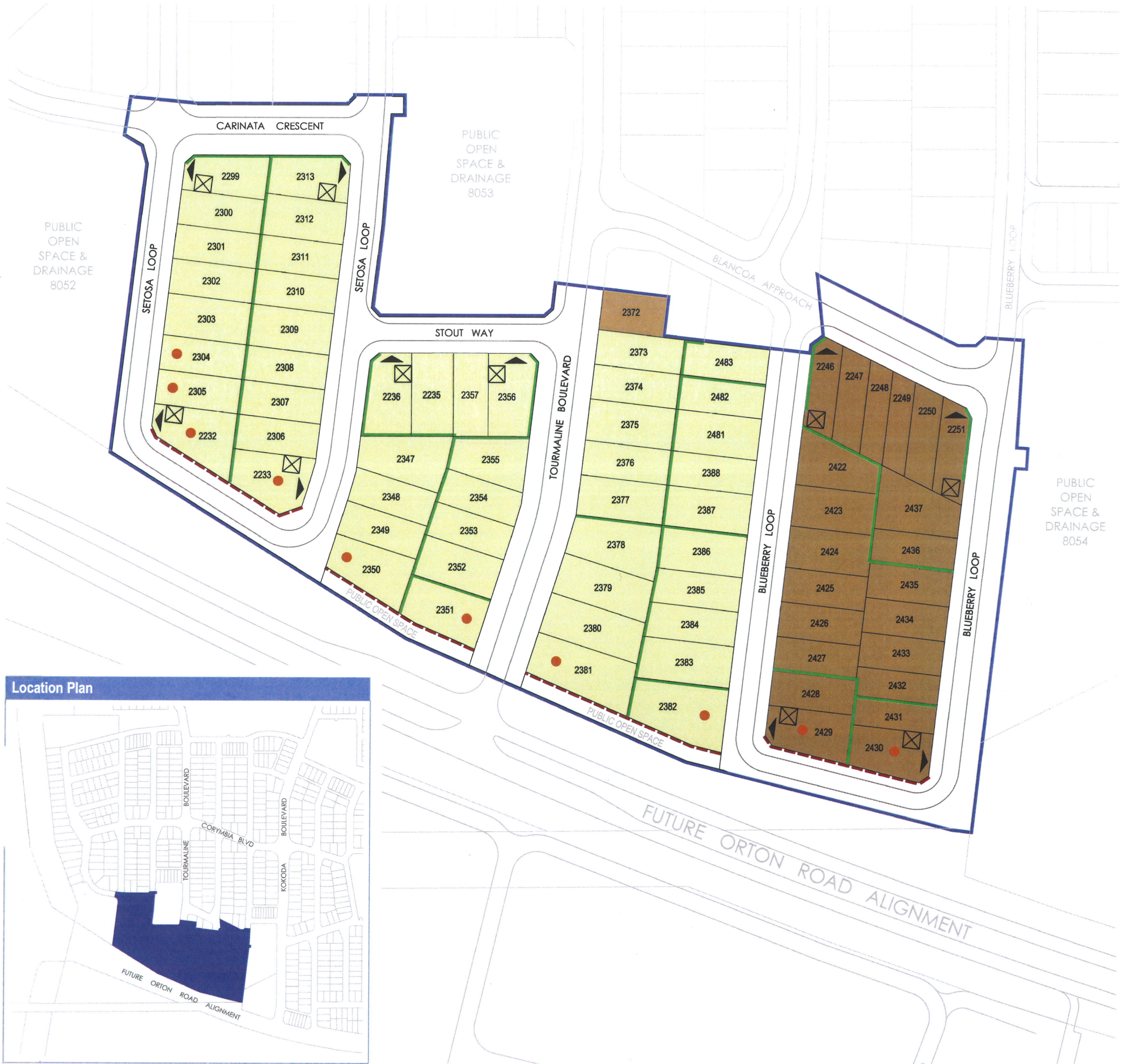
- 5.1 The front setback area, excluding the area of any verandah or porch, shall consist of soft landscaping in accordance with the following minimum requirements:

Soft Landscaping	Lots Applicable	Minimum
	All lots	40%

- 5.2 Rear open space shall consist of at least 1/3 soft landscaping.
- 5.3 The provision of street trees and front and verge landscaping shall be supplied by the Developer in accordance with a landscape plan prepared to the satisfaction of the Shire of Serpentine - Jarrahdale.

Legend

- Extent of Local Development Plan
- R20 Subject Lots
- R30 Subject Lots
- R40 Subject Lots
- Designated Garage Location
- Retaining Walls (by developer)
- Noise Wall (2.4m)
- Primary Frontage
- For implications relating to road traffic noise, refer to the approved Acoustic Assessment prepared by Herring Storer Acoustics dated March 2015 (Reference: 17151-10-13191) specifying Quiet House Design Package A as required



ENDORSEMENT TABLE

Local Development Plan approved pursuant to Schedule 2, Part 6, cl. 52 of the Planning and Development (Local Planning Schemes) Regulations 2015

Authorised Officer

[Signature]

Date 9/2/2023

scale:
1:1500@A3 | 1:750@A1

plan:
06/014/326G
date:
06/02/2023

0 15 30m

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