



The Glades at Byford.
Design Guidelines.

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Welcome to the The Glades.

The Glades provides an excellent opportunity to appreciate a modern village community with great connections to the city and the beauty of the escarpment. But building the largest master-planned community in the south-east corridor involves more than just good location. Developer LWP Property Group Pty Ltd (LWP) is therefore committed to developing a distinctive lifestyle, going beyond the plan to create healthy sustainable communities that deliver the wide range of facilities that residents require. As part of this process, a series of Covenants and Guidelines have been drawn up, contributing to great streetscapes, protecting the long-term value of your investment and providing peace of mind that your neighbours will be building equally attractive, high quality homes.



The Vision.

The Glades will be a vibrant community in which to live, with a great variety of different homesite types and sizes, recreational opportunities, open space and community facilities.

The emerging housing style will reflect contemporary Western Australia, with reference to the rural history of the Byford area, through the use of key materials and features, such as hipped or gabled roofs, corrugated metal, stone and awnings. This style will simultaneously present a fresh approach, appropriate to a modern village, whilst being responsive to the natural environment and the growing needs of the community.

Design Guidelines Explained

The 'Design Guidelines' have been developed by LWP's Urban Design Team and are essentially a strategy to ensure that the vision for The Glades is realised and that it presents a high quality appearance in its landscaping and overall streetscape.

Your home needs to be designed to comply with these Design Guidelines.

Restrictive Covenants Explained

The Contract you signed contains a plan that defines the homesite you are purchasing together with its 'Restrictive Covenants.'

The Restrictive Covenants set out the various restrictions that homeowners are contractually obligated to adhere to for the vision established for The Glades and for the benefit of the other landowners. These Restrictive Covenants will exist on the title of the land so that the quality of the development can be protected as land is re-sold over time.

You should inform your Architect, Building Designer or Builder that there are Restrictive Covenants and Design Guidelines applicable to your homesite. This will enable them to obtain a copy of the Restrictive Covenants so that they can design your home with the appropriate features.

However, we have summarised the major points of the Restrictive Covenants below:

- The approval of LWP must be obtained to erect or modify any dwelling. LWP's approval is required prior to lodging final plans with the Shire of Serpentine Jarrahdale. No site works are to be carried out without having first obtained LWP's approval. Please refer to 'Submission Requirements' (Appendix A1 – page 16) for more details.
- Consent from LWP must be sought in order to erect or display any signage or advertising material on a homesite.
- Homesites may not be used for any purpose other than residential unless the purpose is deemed by LWP or its representatives to be of a quiet nature and one that will not detract from the general amenity of the land.
- No commercial vehicles may be stored on homesites unless they are stored in compliance with the Design Guidelines.
- Any vehicle, boat or machinery repairs shall be conducted within the confines of the garage.
- Non-domestic animals may not be kept on the homesite.
- Rubbish and other waste material shall be kept in appropriate containment and screened from public view.
- Homes on single residential homesites may have a minimum floor area requirement, depending on lot size.



Examples of homes that express the theme for The Glades



LWP Design Approval

Before you lodge your new home plans with The Shire of Serpentine Jarrahdale, you are required to obtain Design Approval from LWP. The process to obtain design approval is as follows:

1. Ensure when designing your home you refer to the requirements outlined in this document, contract of sale, individual lot plan and Detailed Area Plan (DAP) if applicable.
2. Upon completion of your design, submit in PDF format to LWP (buildingplans@lwpproperty.com.au):
 - One A3 set of plans including site plan, floor plan/s and elevations including setbacks, levels, key dimensions, roof pitches and materials.
 - A completed Schedule of External Materials (Annexure "C").
3. LWP will issue a design approval where plans appropriately comply or provide comments where a design may not comply (Allow 7-10 working days).
4. Upon receipt of an approval from LWP, seek relevant approval from The Shire of Serpentine Jarrahdale.

Approval from the Shire of Serpentine Jarrahdale

- Upon receipt of your LWP Design Approval, submit the relevant application to the Shire.
- For a single dwelling, submit a Building Permit Application.
- For multiple dwellings on one homesite, submit a Development Application and once you have the Development Application Approval, follow with a Building Permit Application.



Design Guidelines

1. Objective

LWP's aim is to create a strategy for ensuring The Glades presents a high quality appearance in its built form, landscaping and overall streetscape.

2. Site Considerations

2.1 Detailed Area Plans

- Designers should refer to applicable Detailed Area Plans to identify any special requirements with particular reference to primary frontages, setbacks, minimum open space and permissible site coverage.

2.2 Orientation

- Unless varied by a Detailed Area Plan, the nominated primary elevation for homes directly abutting a public reserve is as follows:

1. Laneway Lots: The public reserve is considered as the primary elevation.

2. Street or Mews Lots: The public reserve is considered as the secondary elevation, however homes will be required to provide a habitable room and/or outdoor living area overlooking the public reserve.

- Homes nominated as "Dual Frontage" will provide primary elevation requirements to both street and public reserve elevations

- Unless varied by a Detailed Area Plan, homes are required to provide at least one main living area with access to north / north east or eastern sun. Exceptions may be granted for homes facing north or homes on lots less than 13m frontage.

2.3 Site Classification

- Purchasers are advised to consult their builder to obtain an accurate geotechnical classification of the lot.
- Geotechnical classification testing cannot be performed until the civil works are completed.



Architectural Character Statement

Homes at 'The Glades' should strive to create a contemporary home with reference to the rural history of the Byford area through the use of key materials and design elements. The inclusion of identified signature elements in the façade such as metal deck roofs, stone or timber features and awnings will create a cohesive neighborhood. All homes should be consistent with the principles outlined in the character statement.

3. Streetscape and Building Design

3.1 Streetscape

- Where more than two dwellings are adjacent and constructed by the same purchaser, diversity in the front façade is required; in colour, material or texture. Substantial repetition of the same façade treatment will not be permitted.
- Homes shall incorporate at least one habitable room window overlooking the primary street and/or public reserve where the public reserve is deemed the primary elevation.

3.2 Building Design

3.2.1 Primary / Front Elevation

- Homes shall have well articulated facades by providing at least one indentation or projection reflected in the floor plan which is mirrored in the roof plan. The projection or indentation should be at least 450mm deep (excludes garages and carports).
- Homes shall have a minimum of two (2) wall materials or colours. (excludes doors, windows, sills or 2c bands). Choose from: stone cladding; rammed earth/limestone; face brick; painted render; weatherboard/timber cladding or mini orb in predominately warm earthy colours to reflect the surrounding rural tones.



- To ensure the architectural character is incorporated into the design of homes, a minimum of 2 of the following character features shall be used in any primary elevation:

1. A substantial front entry feature to pronounce the main entry to the dwelling. An entry feature may include but is not limited to; a portico, gate house,



Highlight stone



Feature Timber



Rammed Earth



Highlight stone



Weatherboard

arbor, open pergola, extended pillars or blade wall. Highlight glazing, sidelights, fanlights, lighting, double entry doors or similar will not be considered as substantial features.

2. A verandah, balcony or porch which is a minimum 30% of the width of the façade (excluding garage or carport) x 1.5m deep located parallel to the street or public reserve.

3. Three or more indentations or projections in the floor plan which are mirrored in the roof plan (excludes garages).

4. A roof feature for example, but is not limited to: gable; gambrel; extended height with recessed feature; pitch over 27°; dormer windows or a separate roof line or gable to a porch, verandah or balcony.

5. A protruding wall (such as a blade wall or a wall which extends above the gutter line) in a feature material or colour.

6. Inclusion of a traditional hip, gable or skillion roof in a metal deck finish such as colorbond or zincalume in the recommended colours outlined in Section 3.2.3.

Parapet walls to side boundaries must not protrude forward of the fascia or above the soffit line of the roof (unless covering off the eaves line of the front façade).

Gate House



Verandah



Gable



Blade Wall



Portico

3.2.2 Secondary Elevations

- Homes located on a corner or with the side boundary adjacent a street, park or public access way shall provide a secondary elevation. Secondary elevations shall be an extension of the primary elevation building features (i.e. colours, materials and other building design features). The treatment of the secondary elevation shall continue back from the corner of the home (nearest the secondary street/park/PAW) for at least 3m.
- Where open fencing is proposed for the full length of the secondary elevation, front elevation materials and finishes shall be continued for the full length of the secondary elevation or to all areas visible from public view.
- Avoid placing meter boxes on secondary corner elevations. Where this is unavoidable, ensure the meter box is set back from the corner of the house at least 1m and matches the wall material in colour.
- Secondary Elevations are not mandatory where a home abuts a laneway to the side boundary.



Corner window Articulation and continuation of materials

3.2.3 Roof

- A range of roof types are permitted (i.e. hip, gable, skillion, partly flat).
- Pitched roofs such as hipped or gable end roofs should be a minimum of 24 degrees pitch.
- Skillion roofs to have a minimum pitch of 5 degrees, maximum pitch of 15 degrees.
- Sections of flat roof are permitted provided that the roof and gutter are concealed behind parapet walls.
- Eaves to a minimum of 400mm depth on all visible areas. Exclusions permitted for terrace homes, zero lot walls, non habitable rooms, elevations facing true south, walls which do not include windows, gable ends or where alternative shading is provided eg awnings, verandahs.
- The following roofing materials are permitted:
 1. Corrugated Metal deck (including Zinalume)
 2. Low profile roof tiles e.g. shingle style or other low profile such as Bristle Marseille
- In keeping with The Glades colour palette, the following Colorbond roof colours are recommended: Bushland, Classic Cream, Dune, Ironstone, Jasper, Pale Eucalypt, Paperbark, Sandbank, Shale Grey, Surfmist, Windspray, Woodland Grey. Tile colours should correspond to the recommended roof colorbond colour palette.
- In keeping with The Glades colour palette, additional colours of Terracotta/Red, Black and Blue are not permitted for tiles or metal deck.
- Other low profile roof tiles may also be considered.



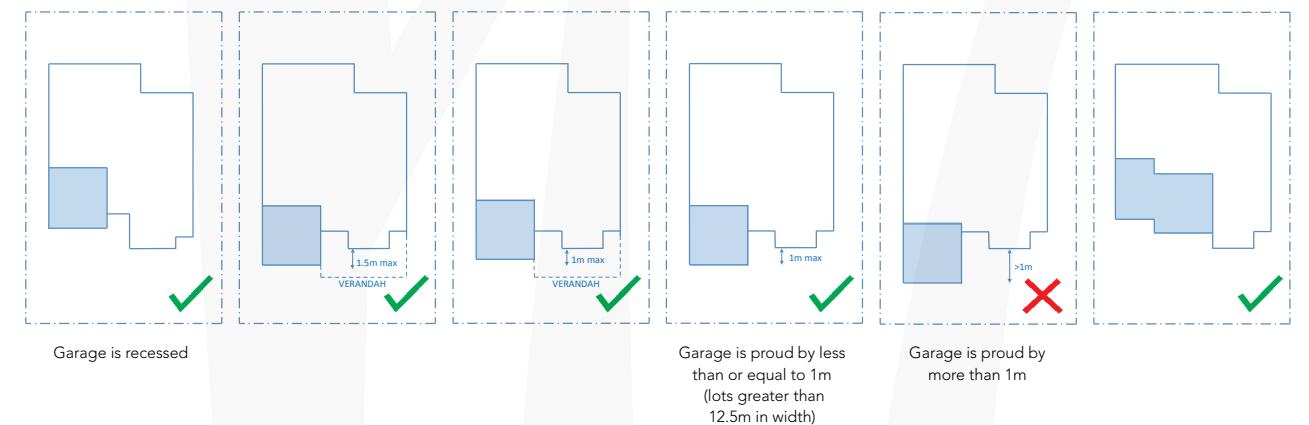
Low profile tiles Corrugated Metal Deck Roof Skillion Roof

3.2.4 Height

- For lots less than 10m wide, a vertical emphasis is encouraged to offset the reduced width of the home. Internally through the use of shaped ceilings and skylights; and externally by utilizing additional parapet height or changes in the roof line.
- All homes on lot widths less than 10m shall have a minimum ground floor plate height of 30c. Homes on corner lots should extend the minimum height for walls back from the corner of the home (nearest the secondary street/park/PAW) for at least 3m and/or where a projection or indentation in the floor plan permits a logical change in wall height.

3.2.5 Garages & Carports

- The roof and design features of garages and carports must be consistent with the main dwelling.
- Unless varied by a Detailed Area Plan, the size and location of garages is as follows:
 1. Garages must be located for access from the rear laneway where one is provided.
 2. Single storey homes on lots sized less than 12.5m wide and accessed from a street or mews must contain a garage not greater than 50% of the width of the lot (excluding truncation).
 3. Double garages are permitted on lots sized less than 12.5m provided the home is two storey with a minimum of 30% of the upper storey (including a balcony) aligned with, or forward of the garage.
 4. For front access lots greater than 12.5m width, garages may not protrude forward



of the main building line by more than 1 metre. This may be extended up to 1.5 metres for homes on corner lots, or where an element is located forward of the garage e.g. portico, verandah etc

5. For front access lots 12.5m width or less, garages may not protrude forward of the main building line. This may be extended up to 1 metre for homes on corner lots, or where an element is located forward of the garage e.g. portico, verandah etc

6. Triple garages are permitted, however may not exceed more than 50% of the lot frontage and must ensure that the third garage component is set back from the double garage to lessen the impact from the street.

- Carports may be permitted, however shall be fitted with a remote controlled sectional door.

3.2.6 Driveways

- Driveways and crossovers may not be constructed of plain grey concrete or asphalt.
- Driveways and footpath crossovers shall be constructed prior to occupancy and shall be coloured to complement the dwelling..
- All crossovers in verges that contain trees installed or retained by LWP shall be constructed so that the trees are not damaged or removed unless approved by The Shire of Serpentine Jarrahdale.
- A 90mm diameter stormwater pipe must be provided under the driveway to allow for future irrigation installation by LWP.

These are building works generally undertaken in addition to the primary building contract by the developer and/or purchaser. All ancillary works shall comply with the requirements set out below and buyers must submit plans to LWP for approval prior to the commencement of any ancillary building works.

4. Ancillary Works

4.1 Developer Works

- Existing site levels shall not be altered by more than 200mm. Any retaining walls required as a result of building will not be the responsibility of LWP.
- Where a fence, entry statement or retaining wall has been constructed by LWP it must not be removed, altered or the structural integrity be compromised in any way and must be maintained to the standard by which it was constructed.

4.2 Side and Rear Fencing

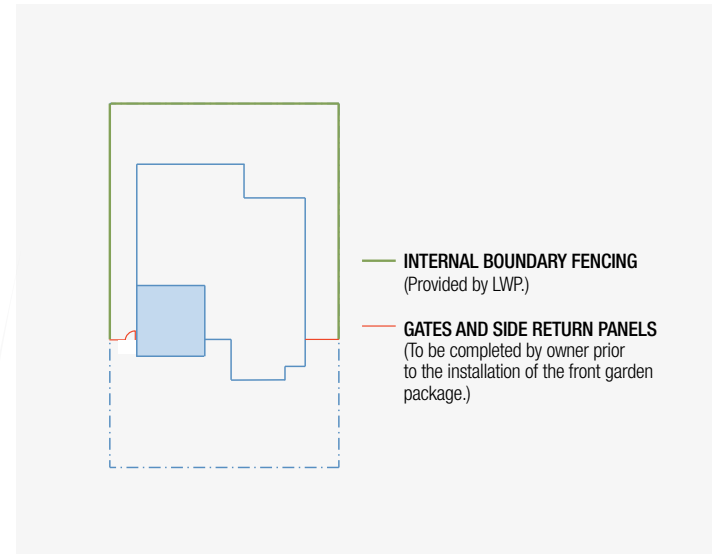
- All side, rear and secondary street fencing as prescribed by the seller will be installed by LWP to a maximum of 1.8m high.
- Side dividing fencing will extend up to the front building line. Secondary street fencing will be located up to the extent of the secondary elevation (i.e. at least 3m from the corner truncation). The purchaser will be responsible for installing the return panels of the fences.
- All side return panels or gates between the side boundary and the home must be installed prior to the installation of front yard landscape packages.

4.3 Front Fencing

- Front fencing is generally not encouraged, however if a front fence is installed, the following conditions apply:
 1. Front fencing as viewed from the primary street or

public reserve shall be a maximum of 1.8m and must be at least visually permeable above 900mm.

2. Materials and colours must be consistent or complementary with the primary street elevation colours and finishes.



4.4 Letterboxes

- Letterboxes installed by LWP must not be removed or altered in anyway
- LWP recommends that freestanding letterboxes are constructed in materials consistent with the materials and colours of the primary elevation.

4.5 Telecommunication and Entertainment Services

- LWP has provided underground telecommunications cable to your home, eliminating the need for TV antennas and satellite dishes. Refer to your contract for specifications required by your builder.
- If required, TV antennas must be located within the roof space or concealed from public view. Satellite dishes must be approved first in writing from LWP.

4.6 Plant and Equipment

- All service elements such as hot water units (including solar), rain water tanks, clothes drying areas and downpipes should be hidden from public view. LWP recommends placing roof mounted items such as air conditioners as far as possible away from the street front.
- Where downpipes are unavoidably positioned on the front elevation, these shall be concealed, painted to match the wall colour or treated as an architectural element e.g. with rain heads.
- Solar panel collectors are the exception to this standard and should be located to maximize their effectiveness.
- Air conditioning units must match the colour of the roof.
- Meter boxes must match the wall colour.

- The installation of security shutters is discouraged. To reduce impact on the streetscape, alternatives such as security mesh or protective film to glazing should be considered.

4.7 Stormwater Disposal

- A Stormwater connection point for drainage has been supplied by LWP. This will negate the need for soakwells. Please refer to your contract and/or Shire of Serpentine Jarrahdale for drainage pit locations.

4.8 Outbuildings

- All outbuildings shall be constructed behind the front or secondary elevation building line.
- For lots under 1000m²
 1. Outbuildings less than 24sqm shall be in materials and colours compatible with the main dwelling.

2. Outbuildings greater than 24sqm shall be constructed of the same materials, colours and finishes of the main dwelling.

- For lots over 1000m²

1. Outbuildings less than 36sqm shall be in materials and colours compatible with the main dwelling.

2. Outbuildings greater than 36sqm shall be constructed of the same materials, colours and finishes of the main dwelling.

4.9 Landscaping

Unless otherwise stipulated in the land sales contract, all homes approved by LWP and built in accordance with the approved plans, will receive front yard landscaping and irrigation installation at the cost of LWP. Your front garden will be designed in consultation with a landscape architect who specializes in current landscape trends and low water usage Western Australian Plants. **Please contact LWP 6 weeks prior to the completion of your home to arrange an installation date.**

Landscaping will only be installed once:

- Side fencing panels and/or side gates.
- The driveway crossover is completed.
- All excess soil & debris is removed from the site and the lot is restored to the as constructed level prior to building commencement.
- All retaining walls and hardstands are completed by the owner.



5. Glossary of Terms

An alphabetical collection of specialist building and planning terms and their meanings.

Architectural Element	A structure designed as a separate identifiable part of a building.
Articulation	Variation in the elevation through projections and indentations in the floor plan and mirrored in the roof design to create shadows and add visual interest to the façade.
Awning/Canopy	A roof structure supported by a frame and located over a window to provide sun shading.
Corner Lots	A lot which is located at the junction of two streets or at the junction of a street and public reserve.
Facade	The face of the building which is orientated to the primary street. The façade shows the buildings most prominent architectural or design features.
Front Fencing	All fencing forward of the main building line.
Gable	The triangular top section of an end wall that fills the space beneath where the slopes of a two sided pitch roof meet. Gables can be in the wall material or another feature material eg weatherboard cladding or timber.
Gambrel	A triangular feature within a hipped roof structure most commonly finished in a lightweight cladding such as painted weatherboard or timber.
Habitable/ Non-Habitable Room	All bedrooms, kitchens or living rooms. Non-habitable rooms include bathrooms, laundry, toilets, stairs, storage or circulation spaces.
Hip Roof	A roof with sloping ends as well as sides.
Laneway	A narrow road located at the rear or side boundary of the property for the chief purpose of vehicle access.
Living Areas	Rooms designed for living in especially for relaxation, social and recreational activities. Living Areas do not include bedrooms or non habitable rooms.
Main Building Line	The main building line is measured from the front most habitable room on the primary façade (this excludes minor projections or features).
Mews	A narrow street with no verge. A mews usually contains small houses with the main entry and vehicle access both facing the mews.
Porch	A covered shelter at the front of the home located adjacent the entry.
Portico	A covered walkway leading to the main entrance that consists of a separate roof structure to the main dwelling and is supported by piers or pillars.
Primary Elevation	The elevation of the home which is usually inclusive of the main entry and the majority of architectural features.
Public View	Public View An area in view from common spaces such as public reserves or streets.
Public Reserve	Public Reserve A public reserve is any parkland, bushland, wetland, public access way or any other space designated for public purposes within the residential community.
Secondary Elevation	The elevation of the home which is exposed to public view but does not usually consist of the main entry or majority of architectural features.
Skillion Roof	A mono pitch roof of gentle slope generally between 5° - 15° degree pitch.
Verandah	A covered shelter at the front of the home which may or may not have its own separate roof and is supported by pillars, posts or piers.



byford.com.au

Visit the Information & Sales Centre

2 Doley Rd (Cnr Abernethy Rd), Byford, WA 6122

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